

DETACHED GARAGES

EXCESS FILL OR SOIL FROM EXCAVATING GARAGE MUST BE REMOVED FROM THE PROPERTY. IF USED, MUST ACCOMPANY FILL PERMIT. ONLY ONE DRIVEWAY IS ALLOWED PER LOT.

GENERAL

All one-story detached garages shall be built in full compliances with the requirements of the code sections regulating the construction of one-story dwellings with the following exceptions:

MINIMUM GARAGE SIZE

The minimum garage size for a single car garage or for each unit in a multi-car garage where each space has a separate outside entrance shall be a minimum of twelve (12) feet by twenty (20) feet. The minimum size for a two-car garage shall be twenty (20) feet by twenty (20) feet. The minimum space per car for a multi-car garage with a common access door shall be nine (9) feet by nineteen (19) feet plus access lane.

FOOTING

The footing shall be a minimum of twenty (20) inches wide and twenty (20) inches deep below ground level at edge.

FLOOR HEIGHT

The floor height shall be not less than six (6) inches above ground.

STUD SPACING

The maximum spacing for the studs shall be sixteen (16) inches on center; doubling of studs is required on all openings.

WALL SHEATHING

Wall sheathing may be omitted in corner bracing. Each corner shall be braced from top outward in two directions to a minimum of seventy-two (72) inches from corner at sill plate; corner bracing may be applied on the inside surface of studs, using a minimum one (1) by four (4) inch post of wood or ½ 4 by 8 plywood corners.

CORNER POST

Corner post may be two-two (2) by four (4) inches, or one four (4) by four (4) inch post.

TOP PLATE

The top plate shall be double.

RAFTER TIES

Rafter ties at eaves shall not be less than two (2) by four (4) inches with maximum spacing four (4) feet on center.

FLOORING

Concrete, minimum five (5) inches thick six (6) bag mix with six (6) by six (6) inch 10/10 woven wire fabric, or fiber mesh, on a minimum four (4) inches of crushed stone or gravel compacted, with six (6) per cent air entrainment and linseed oil seal coat as per manufacturer's specifications. **Driveways are required for all garages and would be a separate permit.**

BOTTOM SILLS

Bottom sills may be single two (2) by four (4) wolmanized on a cement floor, or wall bolted six (6) feet on center. Anchor bolts shall be a minimum size of one-half (1/2) by ten (10) inches or the equivalent.

WIND BRACES

Wind braces may be one (1) by four (4) inches, one at each corner (wood).

DOOR HEADERS

Door headers, where roof load for sixteen (16) foot opening falls on header, shall be made up of three – two (2) by twelve (12) inches, or two – two (2) by fourteen (14) inches, or the equivalent.

RAFTERS

Rafters shall be two (2) by eight (8) inches, spaced at sixteen (16) inches on center.

HIP RAFTERS

Hip rafters shall be two (2) by eight (8) inches minimum.

VALLEY RAFTERS

Valley rafters shall be two (2) by eight (8) inches minimum.

COLLAR TIES

Collar ties shall be a minimum of two (2) by four (4) inches on forty eight (48) inch centers.

SIDING/EXTERIOR COVERING

Siding shall be wood, one-half (1/2) inch thick over 15 pound felt lining applied horizontally with upper layer lapped over lower layer not less than 2". Where joints occur, felt shall not be lapped less than 6". For example: wood hardboard, horizontal siding, or wood shakes.

EAVES

Eaves shall be enclosed with three-eighths (3/8) inch exterior plywood or aluminum.

ROOFING

Roofing shall be fifteen (15) pounds felt paper that has a twenty-five (25) year roof warranty.

TRIM BOARDS

All trim boards shall be No. 2 grade or better.

ELECTRICAL

All garages shall have electric. All 125 volt, single-phase; a separate 20 ampere receptacle installed in a garage shall have a ground-fault circuit-interrupter protection. Overhead outlets shall be installed for future garage door openers. This outlet shall be of a single receptacle type.

LOCATION

- A. **INTERIOR LOT** – No part of any accessory building shall be located closer than five (5) feet to the rear lot line or to the side lot lines abutting such required rear yard except in the SR-4 Zoning District where an accessory building may be located within three (3) feet of a lot line.
- B. **CORNER LOT** – No part of an accessory building shall be located in or upon the required side yard of a corner lot which is adjacent to the street, nor shall an accessory building be located closer than five (5) feet to the rear lot line or to the interior side lot lines except in the SR-4 Zoning District where an accessory building may be located within three (3) feet of an interior side or rear lot line.

No detached accessory building shall be closer than ten (10) feet to the principal building and each foot over twenty (20) feet in length that the wall of an accessory structure parallels and is next to the principal structure, the required distance between the structures shall be increased by an additional foot, to eleven (11).

***At no time shall a detached garage or an accessory building encroach in any rear or side yard easement.**

BUILDING PERMIT REQUIRED

No building or structure shall be erected, constructed, built, enlarged, replaced, repaired, altered, or moved, nor shall any repair or maintenance work done which affects that structural, fire protection, or health protection qualities of a building without first having obtained a building permit.

Building permits expire one year from the date of the permit. However, if work has not started within six months of the date of the permit, the building permit is void.

BUILDING PERMIT APPLICATION

To apply for the building permit, the following items shall be submitted to the Building Department:

1. Completed miscellaneous permit application and a copy of the signed contract
2. Plat of survey showing the proposed location and size of the garage
3. Construction drawings, if applicable, drawings by architect or structural engineer
4. All contractors must be licensed and insured. A general contractor and an electrical contractor must be provided.
5. Tax index number

BUILDING PERMIT FEE

The building permit fee for a detached garage is based on the estimated value of the proposed work.

INSPECTIONS REQUIRED

The Building Inspector shall inspect all buildings and structures that are being erected, constructed, built, enlarged, repaired, altered, replaced, or moved. Inspections shall be requested in writing or by telephone to the Building Department at least twenty-four (24) hours in advance. Inspections are required for footings, pre-pours, framing, electrical, the final structure, and if applicable, insulation. The garage roof drainage cannot cause a nuisance to adjoining properties.

CONTRACTOR LICENSE REQUIRED

It shall be unlawful to engage in business in the Village of Bartlett as a building contractor without first having obtained a building contractor license.

A homeowner is not required to be licensed as a subcontractor or general contractor to construct, demolish, rehabilitate, alter, or repair his or her own garage.

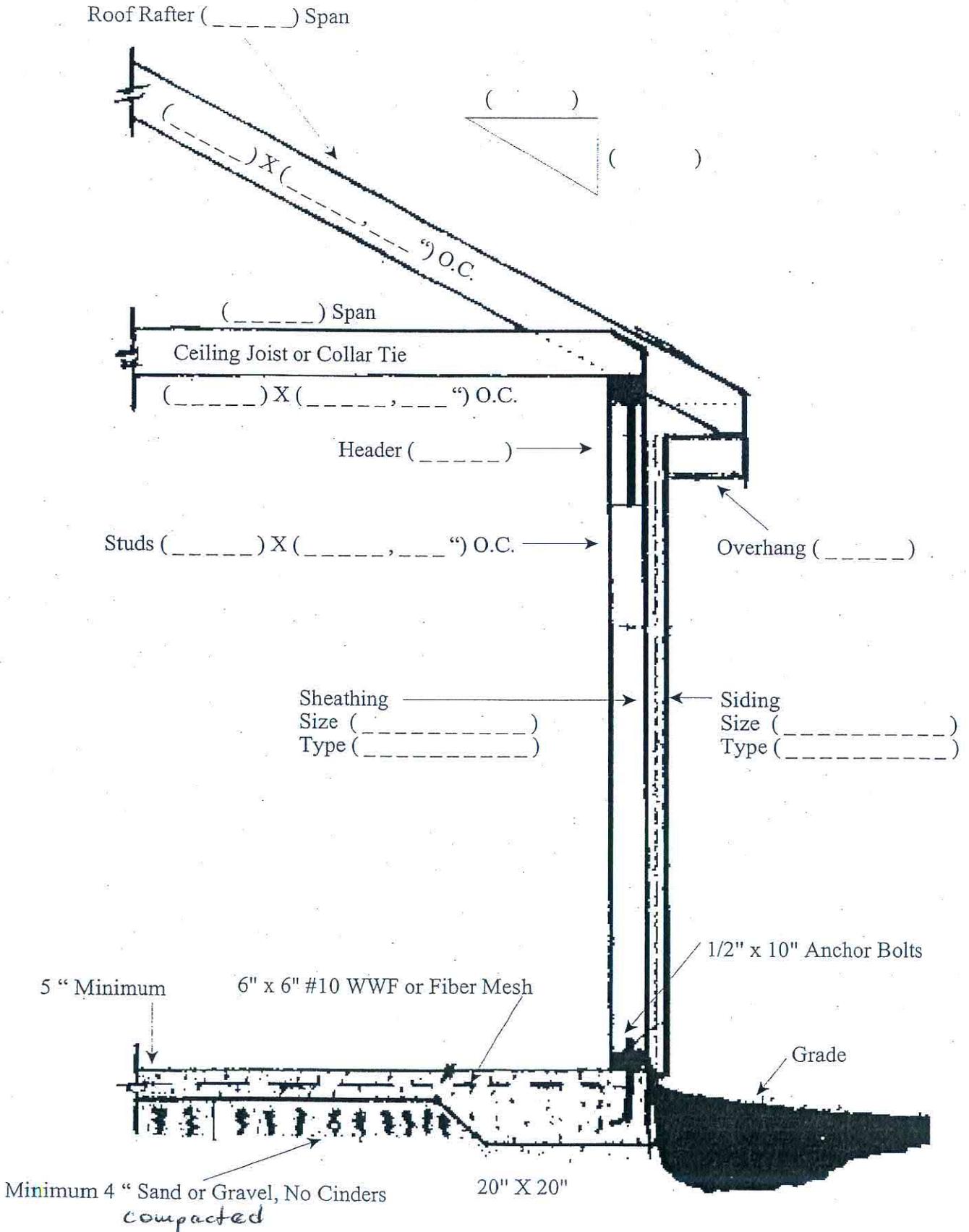
LICENSED CONTRACTOR

All names of licensed subcontractors and general contractors are on file in the Building Department and the Main Office.

SOURCE: The Bartlett Building Code 2014-46
 The National Electrical Code 2011

DETACHED FRAME GARAGE

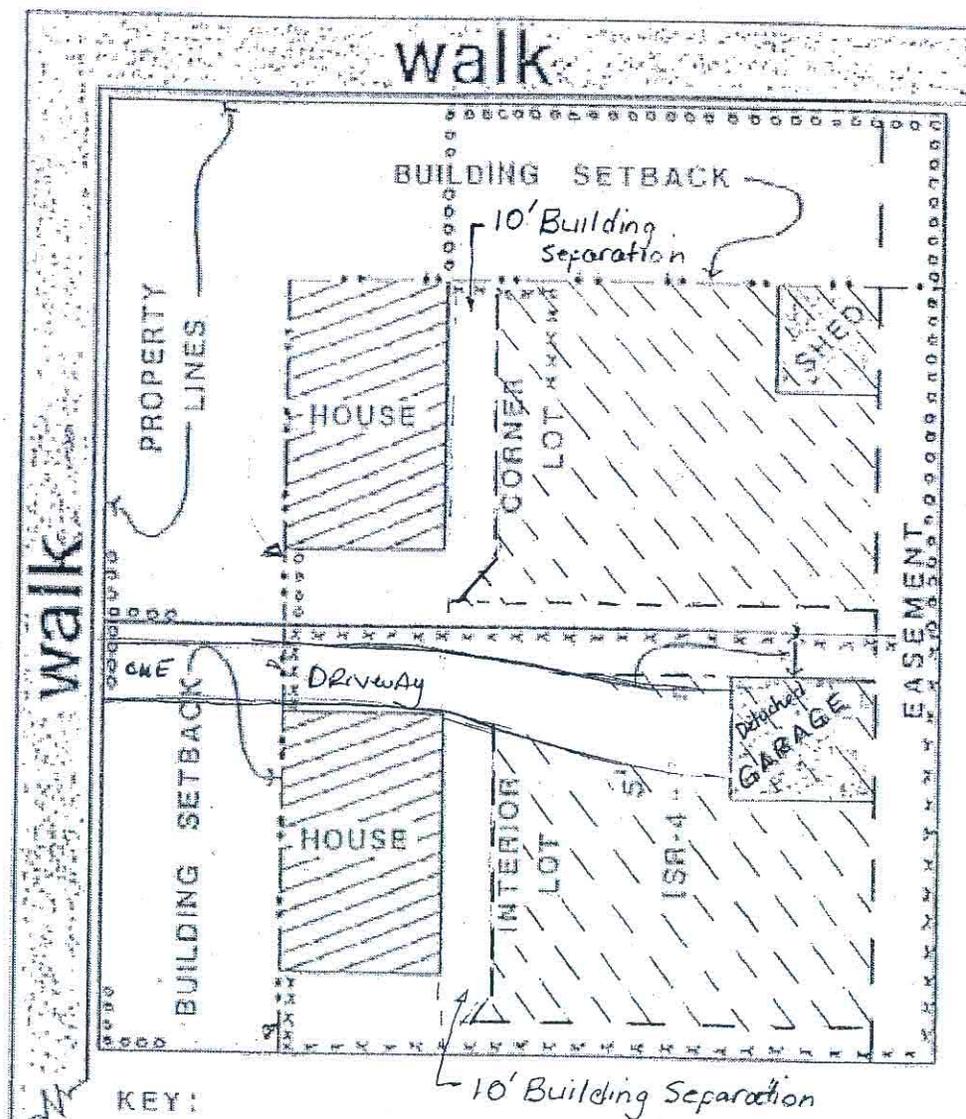
VILLAGE OF BARTLETT BUILDING DEPARTMENT



FENCE - GARAGE - SHED LOCATION

STREET

STREET



KEY:

oooooo - 3' HIGH FENCE - MAX.

xxxxxx - 6' HIGH FENCE - MAX.

||||| - SHED AND GARAGE LOCATION IN REAR YARD