

ACCESSORY BUILDINGS (Utility Sheds)

EXCESS FILL OR SPOIL FROM EXCAVATING BUILDING SITE MUST BE REMOVED FROM PROPERTY. THE USE OF EXCESS FILL MUST BE ACCOMPANIED BY A FILL PERMIT.

DEFINITION

For the purposes of this section of the Bartlett Building code, an accessory building shall be deemed as follows: A building secondary in construction, size, and use to the principal structure on the lot and not attached in any way to the principal structure. The accessory building is located on the same zoning lot as the principal building.

NOTE: Some of Bartlett's subdivisions have private covenants that pertain to sheds.

FLOORING

Accessory buildings may be located on a concrete slab constructed to the following specifications: Concrete, minimum four (4) inches thick (minimum six (6) bag mix) on a minimum four (4) inches of crushed stone or gravel, pee gravel is not allowed.

Sheds can be placed on a gravel or wood deck floor. The corners need to be secured by post-hole method, two feet below grade. (Not allowed for detached garages.)

STUD SPACING

Except for metal storage sheds, the maximum spacing for studs shall be twenty-four (24) inches on center; doubling of studs shall be required on all openings. (Sheds only!)

WALL SHEATHING

Wall sheathing may be omitted when corner bracing is used. Each corner shall be braced from top outward in two directions to a minimum of seventy-two (72) inches from corner at sill plate; corner bracing may be applied on inside surface of studs, using a minimum one (1) by four (4) inch brace.

CORNER POST

Corner post may be two - two (2) by four (4) inches or one four (4) by four (4) inch post.

RAFTER TIES

Rafter ties at eaves shall be not less than two (2) by four (4) inches, with maximum spacing four (4) feet on center.

BOTTOM SILLS

Bottom sills may be single two (2) by four (4) wolmanized lumber on a concrete floor bolted six (6) feet on center with an approved anchorage method. Anchor bolts shall be a minimum size of one-half (2) by ten (10) inches. The Village would allow a strapping method for accessory structures.

DOOR SIZE

The accessory building (shed) shall not have a door larger than forty-eight inches (48”) wide.

SIDING

Siding shall be wood, one-half (2) inch thick over 15 pound felt lining. NO. 2 grade or better, (maximum of eight (8) to the weather), aluminum of proper thickness, or other approved material to match principal structure. (Example: brick, aluminum, or vinyl).

ROOFING

Roofing shall be 15 pound felt paper and have a 25 year warranty.

LOCATION

A. Interior Lot - No part of an accessory building shall be located closer than five (5) feet to the rear lot line or to the side lot line abutting such required rear yard except in the SR4 Zoning District where an accessory building may be located within (3) feet of a lot line in the required rear yard.

B. Corner Lot - No part of an accessory building shall be located in or upon the required side yard of corner lot which is adjacent to the street, nor shall any accessory building be located closer than (5) feet to the rear lot line or to the interior side lot line except in the SR-4 Zoning District where an accessory building may be located within three (3) feet of an interior side or rear lot line.

No accessory building shall be closer than ten (10) feet to the principal building and each foot over twenty (20) feet in length that the wall of an accessory structure parallels and is next to the principal structure, the required distance between the structures shall be increased by an additional foot.

At no time shall an accessory building encroach in any rear or side easement.

BUILDING PERMIT REQUIRED

No building or structure shall be erected, constructed, built, enlarged, replaced, repaired, altered, or moved, nor shall any repair or maintenance work be done which affects the structural, fire protection, or health protection qualities of a building without first having obtained a building permit.

Building permits expire one year from the date of the permit. However, if work has not started within six months of the date of the permit, the building permit is void.

BUILDING PERMIT APPLICATION

To apply for the building permit the following items shall be submitted to the Building Department:

1. Completed permit application
2. Plat of survey showing proposed location and size of shed adhering to setback requirements
3. Construction drawings, if applicable, by architect or structural engineer. (Exception: small equipment sheds)
4. **The Village will need to calculate the impervious surface for the lot to see if the accessory structure meets village ordinance 2014-07.**

BUILDING PERMIT FEE

The building permit fee is based on the estimated cost of the proposed project. Refer to B.B.C. 9-3-4.

INSPECTIONS REQUIRED

For accessory structures placed on a slab, a pre-pour inspection is required. A final inspection is required for all accessory buildings, and if applicable, an electrical inspection is also required.

The Building Inspector shall inspect all buildings and structures that are being erected, constructed, built, enlarged, repaired, altered, replaced, or moved. Inspections shall be requested in writing or by telephone to the Building Department at least twenty-four (24) hours in advance. All requests for inspection must be made by 3:30 for the inspection to be conducted on the following day.

CONTRACTOR LICENSE REQUIRED

It shall be unlawful to engage in business in the Village of Bartlett as a building contractor without first having obtained a building contractor license.

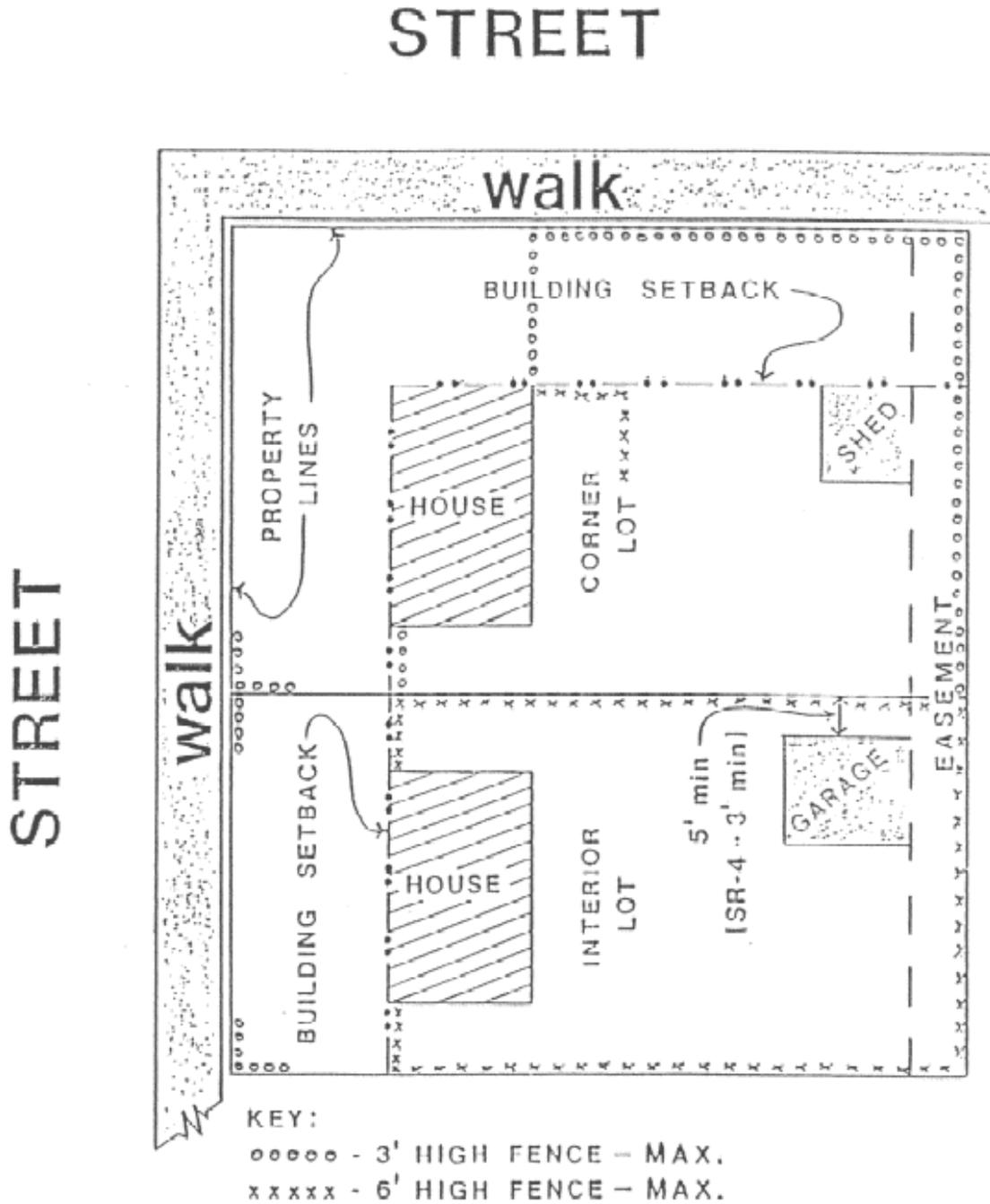
A homeowner is not required to be licensed as a subcontractor or general contractor to demolish, rehabilitate, alter, or repair his or her own home.

LICENSED CONTRACTOR

Names of subcontractors and general contractors are available on the Village's website and in the Main Office and the Building Department.

SOURCES: The Bartlett Building Code, Ordinance 2014-46
The Bartlett Zoning Ordinance 2011-70

FENCE - GARAGE - SHED LOCATION



10-3-3: GENERAL REGULATIONS FOR ACCESSORY BUILDINGS AND STRUCTURES:



Accessory buildings and structures are permitted in any zoning district.

A. Accessory Buildings And Structures:

1. Attached Accessory Buildings: All accessory buildings which are attached to principal buildings shall comply with the yard requirements of the principal buildings.
2. Building And Structure Location:
 - a. No part of an accessory building shall be located closer than five feet (5') to any lot line except in the SR-4 district where an accessory building may be located within three feet (3') of a lot line.
 - b. In a residential zoning district, no detached accessory building shall be closer than ten feet (10') to the principal building. However for any accessory building over twenty feet (20') in length the required distance between the structures shall be increased by an additional one foot (1') for each foot over twenty feet (20').
 - c. No part of an accessory building or structure, excluding fences and driveways (upon approval of the village engineer), is permitted on or over any public utility or public drainage easement.
3. Time Of Construction: No accessory building or structure shall be constructed on any lot prior to the construction of the principal building to which it is an accessory.
4. Area: The square footage of any accessory building or structure on a lot may not exceed the aggregate total square footage of all principal structures on a lot.
5. Percentage Of Required Yard Occupied: No detached accessory building or buildings shall occupy more than thirty percent (30%) of the area of a required yard.

B. Accessory Building And Structure Height:

1. Height: No detached accessory building or structure shall exceed the height of the principal building or structure. However, in no case shall such accessory building or structure exceed fifteen feet (15') in height.
2. Building Appurtenances: Chimneys, parapet walls, skylights, steeples, flagpoles, smokestacks, cooling towers, elevator bulkheads, fire towers, monuments, water towers, stacks, stage towers or scenery lofts, tanks, ornamental towers and spires, roof gardens, recreational facilities, wireless towers, antennas, solar panels, necessary mechanical appurtenances, penthouses to house mechanical appurtenances and the like may be erected above the height limits herein prescribed and shall not be included in calculation of building height. Such items erected more than ten feet (10') in excess of the height limits of the zoning district in which they are located or the height of the structure to which they are attached, shall be required to be reviewed and approved by the village board prior to being erected.
3. Freestanding Flagpoles: Freestanding flagpoles shall not exceed twenty five feet (25') in height as measured from existing grade and shall not be closer than twenty feet (20') to a front property line. (Ord. 2012-05, 1-17-2012)